

DESIGN TEAM

PROJECT ARCHITECT

THOMAS A. HESTER, SR., AIA
AR #0091745
9736 MYRTLE CREEK DRIVE
RIVERVIEW, FLORIDA 33578

DAUSCH GROUP, INC (DGI)

OFFICE: (813) 390-3585
(W) WWW.DAUSCHGROUP.COM
(E) c.dausch@version.net

CONTRACTOR

CASEY CANE, CGC
THE BAUEN GROUP, INC
33847 U.S. HWY 19 NORTH
PALM HARBOR, FLORIDA 34684
OFFICE: (813) 207-0050
CELL: (727) 789-2900
(E) WWW.CCANE@BAUENUSA.COM

DESIGNER/CAD SPECIALIST

B.K. THOMAS, LEED GA
P.O. BOX 47
TAMPA, FLORIDA 33601
(p) 813.716.2081
(e) dbc@dbcdesigngroup.com
(w) www.dbcdesigngroup.com

SCOPE OF WORK

PRODUCING DIGITALLY SIGNED AND SEALED CONSTRUCTION DOCUMENTS FOR THE PURPOSE OF SUBMITTING TO THE BUILDING DEPARTMENT. THE PERMIT SET WILL CONSIST OF INTERIOR OR EXTERIOR DEMOLITION OF THE SEGMENT OF MASONRY WALL, AND BRICK VENEER BUILDING, WINDOWS , INTERIOR DOORS, CONCRETE SLAB(S), GROUND AREA, OFFICE SPACE, LOBBY, STORAGE AREA AND ROOFTOP AREA.

RENOVATION FOR

MASONIC HALL



PROJECT INDEX

GENERAL

A-0.0 COVER SHEET

CIVIL

1 EXISTING CONDITION/DEMO PLAN
2 PROPOSED NEW PARKING LOT PLAN

ARCHITECT

D-1.1 FIRST FLOOR DEMO PLAN
D-1.2 ROOFTOP DEMO PLAN
A-2.1 FIRST FLOOR DEMO PLAN
A-2.2 SECOND FLOOR DEMO PLAN
A-2.3 ROOFTOP DEMO PLAN

GRAPHIC SYMBOLS

mark, or type

mark

1

A-5

WINDOW TYPE

number

105

ROOM NUMBER

item number

15

RESTROOM ACCESSORY

note number

15

DRAWING NOTE

mark, or type

100

DOOR NUMBER

section mark

1

A-5

SECTION CUT

elevation mark

A

A-7

ELEVATION

elevation mark

A

B

C

D

A-15

MULTI-ELEVATION

view mark
(on same sheet)

a

VIEW

mark

1

A-2

FLOOR PLAN
SCALE: 1/8"=1'-0"
sheet number

DESCRIPTIVE TITLE

room title

KITCHEN

109

room number

ROOM TITLE

mark

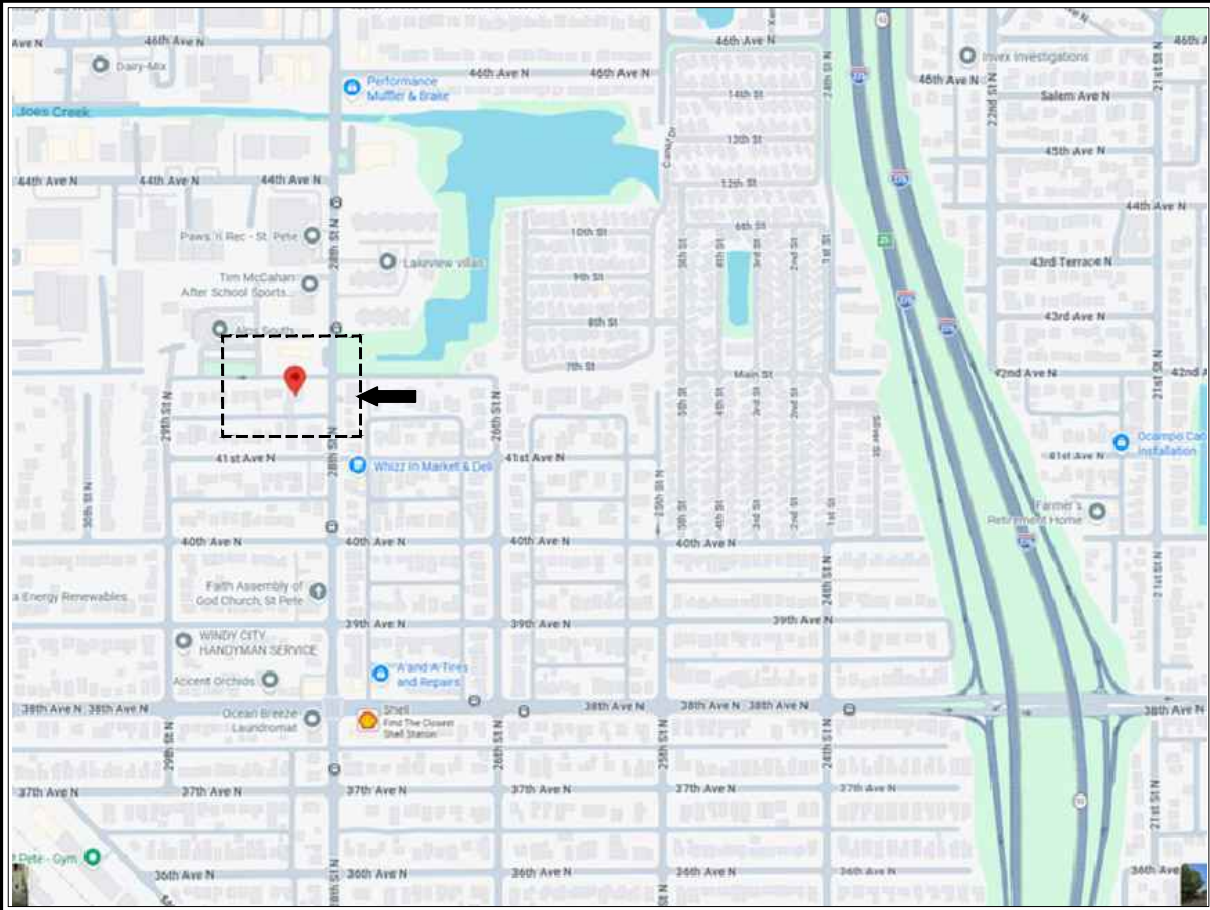
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A-2

sheet number

DETAIL

PROJECT LOCATION MAP



FBC REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH CURRENT ADOPTED CODES, STANDARDS AND ACTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO:

FLORIDA BUILDING CODE, BUILDING (FBC-B) 8TH ED. 2023
FLORIDA BUILDING CODE, MECH. (FBC-M) 8TH ED. 2023
FLORIDA BUILDING CODE, ENERGY, 8TH ED. 2023
FLORIDA BUILDING CODE, PLUMBING (FBC-P) 8TH ED. 2023
FLORIDA FIRE PREVENTION CODE (FFPC) 2023, 8TH ED.
SCOPE OF WORK IS IN ACCORDANCE WITH NFPA 101 LIFE SAFETY CODE 2023 EDITION

NATIONAL ELECTRICAL CODE, 2023 ED.
FLORIDA ACCESSIBILITY CODE, 8TH ED. 2023
AMERICANS W/ DISABILITIES ACT (ADASAD), 2020

PINELLAS COUNTY, CONSTRUCTION DEVELOPMENT SUITE OF CODES, CURRENT EDITION
CLASSIFICATION : ASSEMBLY
CONSTRUCTION TYPE:
TYPE IIB, UNPROTECTED
MAXIMUM BUILDING HEIGHT: 14'-8"
MAXIMUM NUMBER OF STORIES: 1
FIRE SPRINKLERS: NOT SPRINKLERED
MAXIMUM FLOOR AREA, TWO STORY: 5,510 SQ. FT.

ARCHITECTURAL NOTES

1 ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO ALL STATE LAWS, LOCAL ORDINANCES, UTILITY COMPANY, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, THE STANDARD MECHANICAL CODE, THE STANDARD PLUMBING CODE, THE OCCUPATIONAL SAFETY AND HEALTH ACT, NFPA AND THE CURRENTLY ADOPTED STANDARD BUILDING CODE.

2 CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE PROJECT SITE AS REQUIRED TO MAINTAIN A SAFE AND ORDERLY WORK ENVIRONMENT.

3 GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO AND DURING CONSTRUCTION.

4 DEMOLITION WORK SHALL NOT BE LIMITED TO THESE DOCUMENTS TO COMPLETE PROJECT AS ILLUSTRATED, REMOVE ITEMS NECESSARY TO ALLOW FOR NEW CONSTRUCTION.

5 EXISTING SURFACES (WALLS, CEILINGS, ETC.) SHALL BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL CLEAN SURFACES AFTER CONSTRUCTION. REPAIR, PAINT AND OR REPLACE AREAS DAMAGED AS A RESULT OF PERFORMANCE OF THE WORK.

6 ALL WORK SHALL BE COORDINATED WITH THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REPRESENTATIVE.

7 THE CONTRACTOR SHALL SECURE ALL OPENINGS UNDER CONSTRUCTION AT THE END OF EACH WORKING DAY.

8 ITEMS OR AREAS DAMAGED BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

9 CONTRACTOR SHALL PROVIDE DEAD WOOD BLOCKING FOR ALL WALL, CABINETS, WOOD BASES, CHAIR RAILS, CROWN MOULDINGS, AND ANY OTHER ITEMS THAT REQUIRE BLOCKING FOR PROPER ANCHORING.

CLASSIFICATION:
OCCUPANCY: ASSEMBLY GROUP A-3
TYPE: RETAIL
CONSTRUCTION TYPE:
MINIMUM CORRIDOR WIDTH - 48"
EXIT REQUIREMENTS:
MAXIMUM TRAVEL DISTANCE - 150 FT.
COMMON PATH OF TRAVEL - 75 FT.
DEAD END CORRIDOR - 20 FT.
FIRE RATING/CONSTRUCTION OF:
INTERIOR BEARING WALLS - NC
ROOF & ROOF/CEILING - NG
FLOOR - NC
INTERIOR FINISHES:
ALL SPACES: CLASS "C" MATERIALS MINIMUM
FLAME SPREAD: 75 - 200
SMOKE DEVELOPED: 0 - 450

FLORIDA BUILDING CODE 2023 - 8TH EDITION
EXPOSURE B
WIND VELOCITY - 140 MPH
WIND IMPORTANCE FACTOR - 1.0

NORTH

LEGAL DESCRIPTION
SEC 31, T27, 16
ATLAS SHEET No. G11
PARCEL ID #: 31-27-16-00000-420-0110

ABBREVIATIONS

A.C. = ACOUSTICAL CEILING
A.F.F.F = ABOVE FINISH FLOOR
BITUM. = BITUMINOUS
BLDG. = BUILDING
C.J. = CONTROL JOINT
CLR. = CLEAR
CMU = CONCRETE MASONRY UNIT
CONC. = CONCRETE
CONT. = CONTINUOUS
CPT. = CARPET
C.T. = CERMIC TILE
DTL. = DETAIL
DIA. = DIAMETER
DISP = DISHWASHER
DN = DOWN
D.F. = DRINKING FOUNTAIN
DWG = DRAWING
EA. = EACH
E.J. = EXPANSION JOINT
E.W.C. = ELECTRICAL WATER COOLER
ELEV. = ELEVATION
EL. = ELEVATOR
EQ. = EQUAL
EQUIP = EQUIPMENT
EXP. = EXPANSION
EXT. = EXTERIOR
F.E.C. = FIRE EXTINGUISHER CABINET
FLR = FLOOR
F.D. = FLOOR DRAIN
GEN. = GENERAL
GL. = GLASS
GWB. = GYPSUM WALLBOARD
H.C. = HANDICAPPED
HGT. = HIEGHT
H.M. = HOLLOW METAL
HORIZ. = HORIZONTAL
H.P.L. = HIGH PRESSURE LAMINATE
MACH. = MACHINE

MFR. = MANUFACTURER
M.O. = MASONRY OPENING
MAX. = MAXIMUM
MTL. = METAL
MIN. = MINIMUM
MT(D) = MOUNT(ED)
N.I.C. = NOT IN GENERAL CONTRACT
N.T.S. = NOT TO SCALE
O.C. = ON CENTER (CENTER TO CENTER)
OFF. = OFFSITE
O.H.D. = OVERHEAD DOOR
PCS. = PIECES
PL. = PLATE
PLYWD = PLYWOOD
P.T. = PRESSURE TREATED
R = RADIUS, RISER
RD. = ROOF DRAIN
R.L. = RAIN LEADER
RM. = ROOM
S.A.T. = SUSPENDED ACOUSTICAL TILE
SCHED = SCHEDULE
SHT. = SHEET
SIM. = SIMILAR
SPEC. = SPECIFICATION
SQ. = SQUARE
S.S. = STAINLESS STEEL
ST. = STAIR
STD = STANDARD
STL = STEEL
STO. RM. = STORAGE ROOM
SUSP = SUSPENDED
T = TREAD
TYP. = TYPICAL
VB. = VAPOR BARRIER
VERT. = VERTICAL
V.C.T. = VINYL COMPSITION TILE
W/ = WITH
WD = WOOD

LEGAL DESCRIPTION

Sec - Township - Range: 31-27-16
ZONING : R-A - COMMERCIAL, GENERAL

SQUARE FOOTAGE

FIRST & SECOND FLOOR TOTAL: 5,510 SQ. FT.

CLIENT NAME AND PROJECT LOCATION:

MASONIC HALL PROJECT
4128 28TH STREET NORTH
ST PETERSBURG FLORIDA 33714

SHEET TITLE:

COVER SHEET

SCALE:
N.T.S.

DRAWN BY:
BK THOMAS

CHECKED BY:
TAH, AIA-PROJ. ARCHITECT

REVISIONS

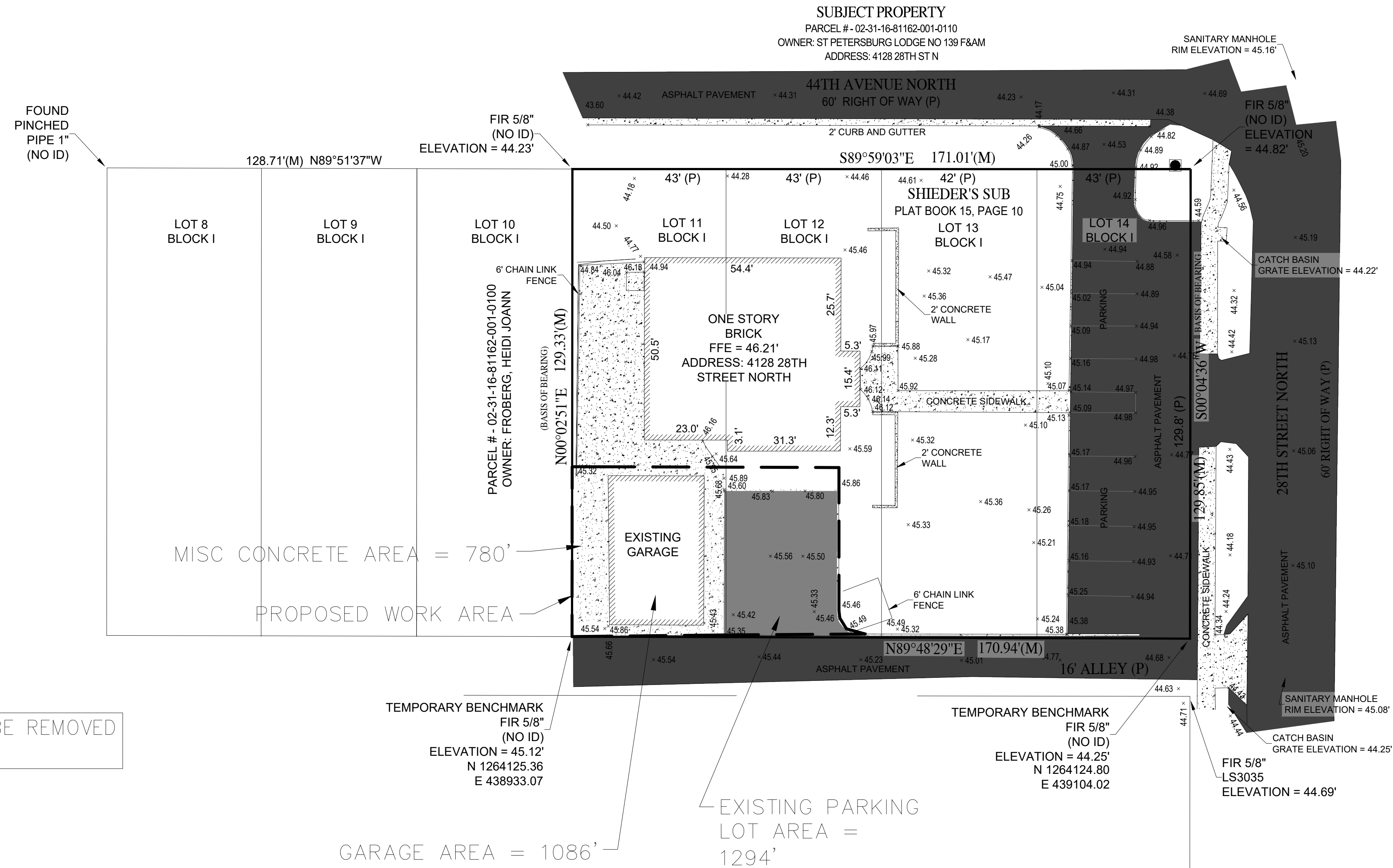
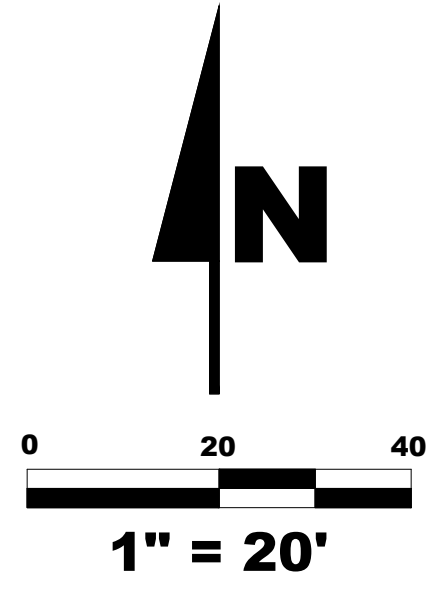
DATE COMPLETED:

JUNE 30, 2026

SHEET NUMBER:

A-0.0

1 OF 8



TOTAL AREA TO BE REMOVED
= 3160'

EXISTING CONDITION/DEMO PLAN

HEET
1

CHRISTOPHER L. DAUSCH, P.E.
FLORIDA P.E. #42536

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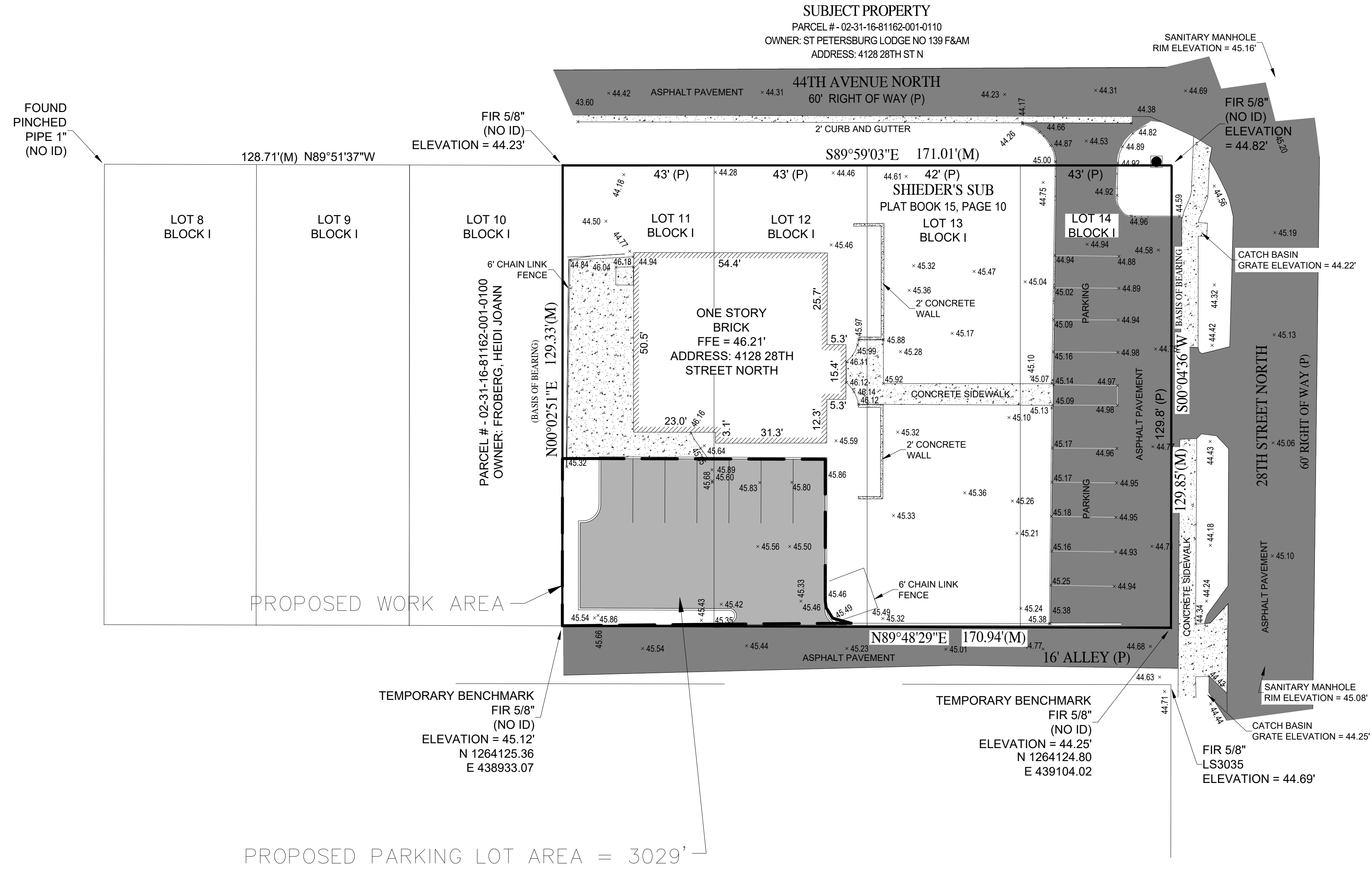
The Bauen Group, Inc.
Real Estate Development | Construction Management | Consulting
33920 U.S. Hwy 19 N Suite 211, Palm Harbor, FL 34684
Office (727) 789-2900 / www.bauenusa.com / CGC#1518903

**EXISTING CONDITION/
DEMO PLAN**

MASONIC LODGE
4128 28TH STREET NORTH
ST. PETERSBURG, FL 33714

25-183-1.1	DATE: 6/16/2026	DRAWN BY CLD	CHECKED BY CLD
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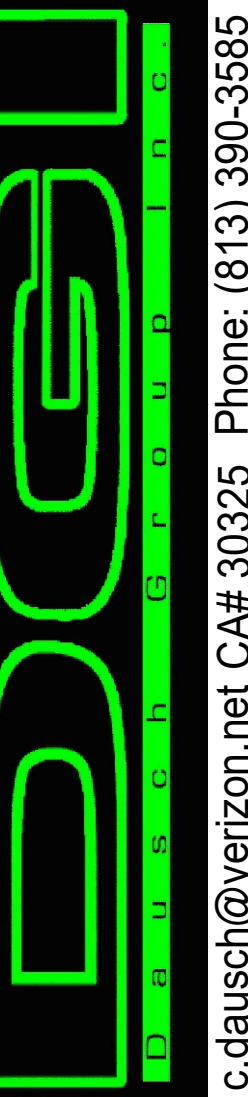
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**PROPOSED NEW PARKING
LOT PLAN**

MASONIC LODGE
4128 28TH STREET NORTH
ST. PETERSBURG, FL 33714

The bauer group, inc.
Real Estate | Development | Construction Management | Consulting
33920 U.S. Hwy 19 N Suite 211, Palm Harbor, FL 34684
Office (727) 789-2900 | www.bauenusa.com | CGC#1518803



c.dausch@verizon.net CA# 30325 Phone: (813) 390-3383

CHRISTOPHER E. DAUGHER, P.E.
FLORIDA P.E. #42536

EET

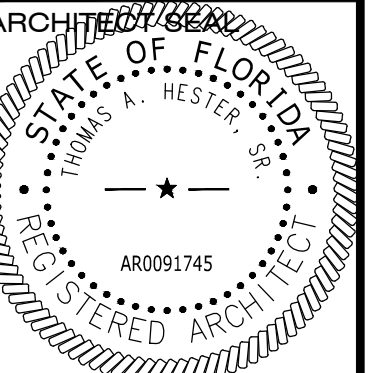
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PROPOSED NEW PARKING LOT PLAN





1. REMOVE SKYLIGHT AND ENCLOSE TO MATCH ROOF DECKING
2. REMOVE AND RELOCATE ROOFTOP EQUIPMENT
3. PREP ROOFTOP FOR 2ND FLOOR CONSTRUCTION
4. REMOVE SEGMENT FOR 2ND FLOOR OPENING FIELD VERIFY OPENING DIMENSIONS
5. PREP AREA FOR SECOND FLOOR EXTERIOR DOOR
6. EXTERIOR WALL & COMPONENTS REMOVAL
7. REMOVE EXISTING ALUMINUM CAP, CONT. CLEAT P.T. WOOD SILL PLATE AND TYP TO PREPARE FOR CONCRETE BOND BEAM (FYP)
8. SPIRAL STAIRS OPENING WILL BE DETERMINED BY MANUFACTURES SPECS.



1111

5
OF
8



TRACTOR

SEY CANE, CGC
E BAUEN GROUP, INC
47 U.S. HWY 19 NORTH
M HARBOR, FLORIDA 34684
CE: (813) 207-0050
L: (727) 789-2900
WWW.CCANE@BAUENUSA.COM

SIGNER:

DBC DESIGN GROUP, LLC
THOMAS, OWNER/LEED GA
BOX 47
SPA, FLORIDA 33601
716-2081
oc@dbcdesigngroup.com
vdbcdesigngroup.com

PROJECT NUMBER:
128-28TH STREET

4128 28TH STREET NORTH
ST PETERSBURG FLORIDA 33714

FIRST LOOK & EDIT FLAIN

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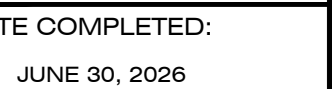
SALE:

S.

AWN BY:

HECKED BY:
I, AIA-PROJ. ARCHITECT

VISIONS



SHEET NUMBER:	6
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A-2.1 OF 8



SCALE: 1/4" = 1'-0"

OCCUPANCY

OCCUPANT LOAD 00 PEOPLE

ACTUAL OCCUPANT
LOAD

MAXIMUM OCCUPANT
LOAD PER FBC
AND NFPA 101 _____

PRIMARY EXIT

SECONDARY EXIT

FIRE EXTINGUISHER
2A:10A BC

DIRECTIONAL
ILLUMINATED EXIT SIGN

EXIT

2023 FLORIDA BUILDING CODE, 8TH EDITION
NFPA 101-LIFE SAFETY CODE - LATEST EDITION
BUSINESS SPACE = 150 SF / PERSON
MERCANTILE SPACE = 30 SF / PERSON
ASSEMBLY SPACE = 15 SF / PERSON

OFFICE SPACE (2): 344 / 150 SQ. FT. = 3 (MAX. OCC. LOAD)

ASSEMBLY SPACE: 920 / 30 SQ. FT. = 00 (MAX. OCC. LOAD)

TOTAL OCCUPANT LOAD = 00 MAX

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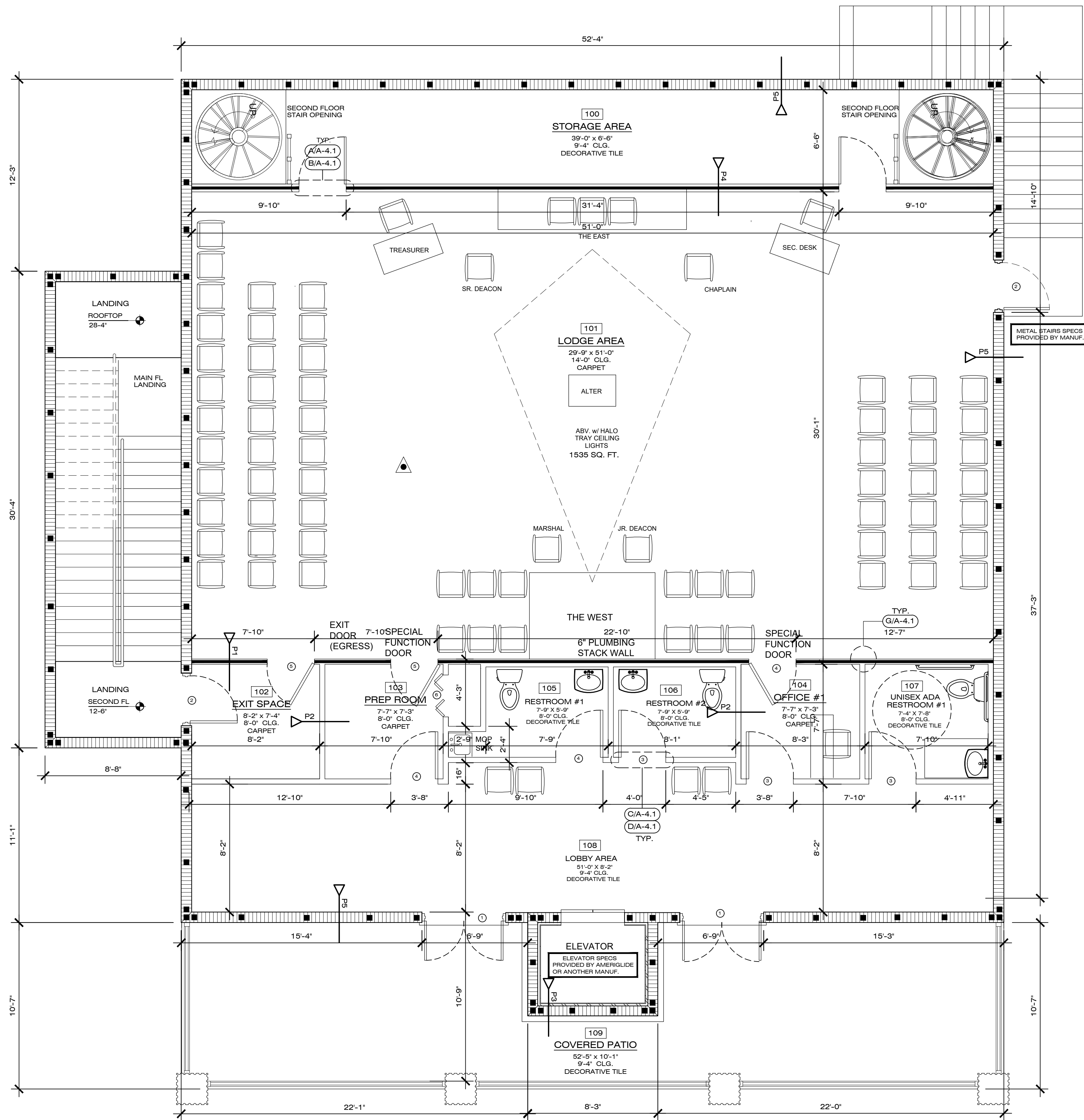
ENSURE THE EXTINGUISHER IS MOUNTED AT AN ACCESSIBLE HEIGHT TYPICALLY 3.5 TO 5 FEET FROM THE FLOOR TO THE HANDLE, AND IS ALWAYS CLEARLY VISIBLE OR MARKED WITH SIGNAGE.

[illegible]

DOOR SCHEDULE

SYM	DOOR SIZE	TYPE	SWING	INT	EXT	QNTY	MANUF.	REMARKS
1	6480	GLS/MTL	-		●	02	-	DOUBLE METAL AND GLASS DOOR
2	3480	MTL	L		●	01	JEND-WEN	SOLID METAL DOOR (EXIT)
3	3468	MTL	R		●	02	JEND-WEN	SOLID METAL DOOR (EXIT)
4	2668	PNL	L	●		01	JEND-WEN	INTERIOR HOLLOW CORE DOORS
5	3068	PLN	L	●		03	JEND-WEN	INTERIOR HOLLOW CORE DOORS
6	3068	PLN	L	●		02	JEND-WEN	INTERIOR HOLLOW CORE DOORS

WALL TYPE SCHEDULE		ROOM NUMBER & SQ. FT.					
		RW	ROOM NAME	SQ. FT.	RW	ROOM NAME	SQ. FT.
P1	 4" WOOD FRAME NON-LOAD BEARING WALL WITH 1/2" GYPSUM BOARD AT 16" O.C. (INSULATED)	100	OFFICE #1	172	101	OFFICE #2	172
P2	 NEW 4" WOOD FRAME NON-LOAD BEARING WALL & 1/2" GYPSUM BOARD AT 16" O.C.	102	LOUNGE & LIBRARY	832	103	KITCHENETTE	87
P3	 NEW 6" EXTERIOR WALL CONFORMS WITH COMMON FIRE BRICK	104	ADA UNISEX PR #1	72	105	ADA UNISEX PR #2	72
P4	 NEW 6" INTERIOR WOOD STUD WALL WITH 1/2" GYPSUM BOARD ON BOTH SIDES (INSULATED)	106	MECH & ELEC CLOSET	28	107	DINING HALL	1173
P5	 EXISTING 8" EXTERIOR MASONRY WALL WITH 1/2" GYPSUM BOARD (INSULATED)	108	MECH & ELEC CLOSET	264	TOTAL SQUARE FOOTAGE: 2,872		



SECOND FLOOR
SCALE: 1/4" = 1'-0"

LIFE SAFETY INFORMATION

OCCUPANCY

OCCUPANT LOAD 00 PEOPLE

ACTUAL OCCUPANT LOAD

MAXIMUM OCCUPANT LOAD PER FBC AND NFPA 101

PRIMARY EXIT

SECONDARY EXIT

FIRE EXTINGUISHER 2A:10A BC

DIRECTIONAL ILLUMINATED EXIT SIGN

CODE REFERENCES

2023 FLORIDA BUILDING CODE, 8TH EDITION
NFPA 101-LIFE SAFETY CODE - LATEST EDITION
BUSINESS SPACE = 150 SF / PERSON
MERCANTILE SPACE = 30 SF / PERSON
ASSEMBLY SPACE = 15 SF / PERSON

TOTAL FLOOR OCCUPANCY (2,608 TOTAL SQ. FT.)

OFFICE SPACE (2): 344 / 150 SQ. FT. = 3 (MAX. OCC. LOAD)

ASSEMBLY SPACE: 920 / 30 SQ. FT. = 00 (MAX. OCC. LOAD)

TOTAL OCCUPANT LOAD = 00 MAX

ENSURE THE EXTINGUISHER IS MOUNTED AT AN ACCESSIBLE HEIGHT, TYPICALLY 3.5 TO 5 FEET FROM THE FLOOR TO THE HANDLE, AND IS ALWAYS CLEARLY VISIBLE OR MARKED WITH SIGNAGE.

FINISH SCHEDULE

W1	1/2" GYPSUM BOARD	F1	DECORATIVE TILE	C1	ACOUSTICAL TILE	B1	VINYL BASE
W2	5/8" GYPSUM BOARD	F2	VINYL FLOORING	C2	PLASTER CEILING	-	-

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS				CLG.	CLG. HT.	REMARKS
SALES & WAITING AREA	F1	B1	W1	W1	W1	W1	C1	9'-4"	
EXAM ROOMS	F1	B1	W1	W1	W1	W1	C1	9'-4"	
ADA RESTROOMS (UNISEX)	F2	B1	W1	W1	W1	W1	C1	8'-0"	
BREAK ROOM	F2	B1	W1	W1	W1	W1	C1	9'-4"	
HALLWAY	F1	B1	-	W2	-	W2	C1	9'-4"	

DOOR SCHEDULE

SYM	DOOR SIZE	TYPE	SWING	INT	EXT	QNTY	MANUF.	REMARKS
1	6480	GLS/MTL	-			02	-	DOUBLE METAL AND GLASS DOOR
2	3480	MTL	L			01	JEND-WEN	SOLID METAL DOOR (EXIT)
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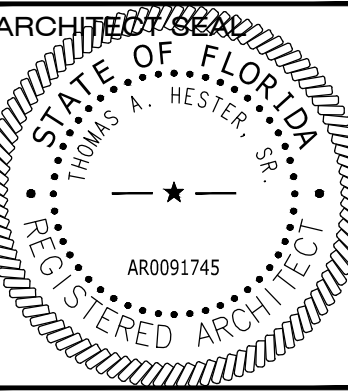
WALL TYPE SCHEDULE

P1	4" WOOD FRAME NON-LOAD BEARING WALL & 1/2" GYPSUM BOARD AT 16" O.C. (INSULATED)
P2	NEW 4" WOOD FRAME NON-LOAD BEARING WALL & 1/2" GYPSUM BOARD AT 16" O.C.
P3	NEW 8" EXTERIOR WALL COVERED WITH COMMON FIRE BRICK
P4	NEW 8" INTERIOR WOOD STUD WALL WITH 2 1/2" GYPSUM BOARD ON BOTH SIDES (INSULATED)
P5	EXISTING 8" EXTERIOR MASONRY WALL WITH 1/2" GYPSUM BOARD (INSULATED)

RM	ROOM NAME	SQ. FT.	RM	ROOM NAME	SQ. FT.
100	STORAGE AREA	234	101	LODGE AREA	1833
102	EXIT SPACE	99	103	PREP ROOM W/ CLOSET	66
104	OFFICE #1	55	105	UNISEX RESTROOM #1	52
106	UNISEX RESTROOM #2	52	107	UNISEX ADA RESTROOM	57
108	COVERED PATIO	464	TOTAL SQUARE FOOTAGE: 2,872		



THOMAS A. HESTER, SR., AIA
REGISTERED ARCHITECT
2810 QUEEN ALBERTA DRIVE
VALRICO, FLORIDA 33596
LICENSE # 0091745
Cell: 813.641.8775 FAX: 813.684.1410



ENGINEER SEAL

CONTRACTOR
CASEY CANE, CGC
THE BAUEN GROUP, INC
33847 U.S. HWY 19 NORTH
PALM HARBOR, FLORIDA 34684
OFFICE: (813) 207-0050
CELL: (727) 789-2900
(E) WWW.CCANE@BAUENUSA.COM

DESIGNER:
DBC DESIGN GROUP, LLC
BK THOMAS, OWNER/LEED GA
P.O. BOX 47
TAMPA, FLORIDA 33601
813 716-2081
(e)dbc@dbcdesigngroup.com
www.dbcdesigngroup.com

PROJECT NUMBER:
4128-28TH STREET

CLIENT NAME AND PROJECT LOCATION:
MASONIC HALL PROJECT
4128 28TH STREET NORTH
ST PETERSBURG FLORIDA 33714

SHEET TITLE:
SECOND FLOOR & LIFE SAFETY PLAN

SCALE:
N.T.S.

DRAWN BY:
BK THOMAS

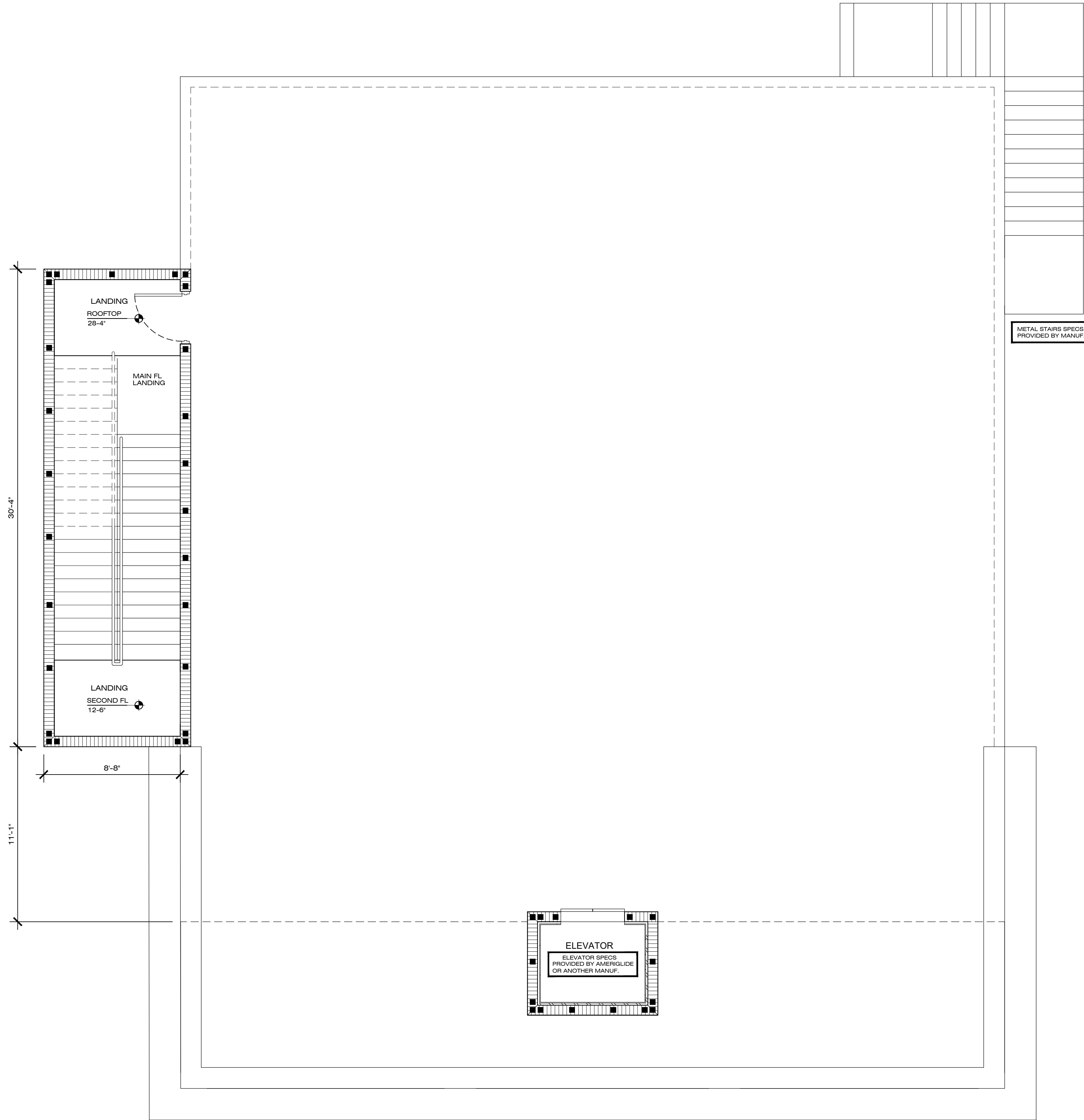
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TAH, AIA-PROJ. ARCHITECT

REVISIONS

DATE COMPLETED:
JUNE 30, 2026

SHEET NUMBER:
A-2.2

7
OF
8



ROOFTOP PLAN
SCALE: 1/4" = 1'-0"

THA

THOMAS A. HESTER, SR., AIA

REGISTERED ARCHITECT

2810 QUEEN ALBERTA DRIVE

VALRICO, FLORIDA 33596

LICENSE #: 0091745

Cell: 813.641.8775 FAX: 813.684.1410

ARCHITECT

STATE OF FLORIDA

THOMAS A. HESTER, SR.

★

0091745

REGISTERED ARCHITECT

ENGINEER SEAL

CONTRACTOR

CASEY CANE, CQC

THE BAUEN GROUP, INC

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TAMPA, FLORIDA 33601

813 716-2081

(e)dbc@dbcdesigngroup.com

www.dbcdesigngroup.com

PROJECT NUMBER:

4128-28THSTREET

CLIENT NAME AND PROJECT LOCATION:

MASONIC HALL PROJECT

4128 28TH STREET NORTH

ST PETERSBURG FLORIDA 33714

SHEET TITLE:

ROOFTOP PLAN

SCALE:

N.T.S.

DRAWN BY:

BK THOMAS

CHECKED BY:

TAH, AIA-PROJ. ARCHITECT

REVISIONS

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△

DATE COMPLETED:

JUNE 30, 2026

SHEET NUMBER:

A-2.3

8 OF 8